

COMMUNITY PLANNERS ASSOCIATION OF ALBERTA

HERITAGE CONSERVATION - COMMUNITY BENEFITS AND CHALLENGES



Ann Ramsden, Executive Director,
Arts and Heritage Foundation St Albert



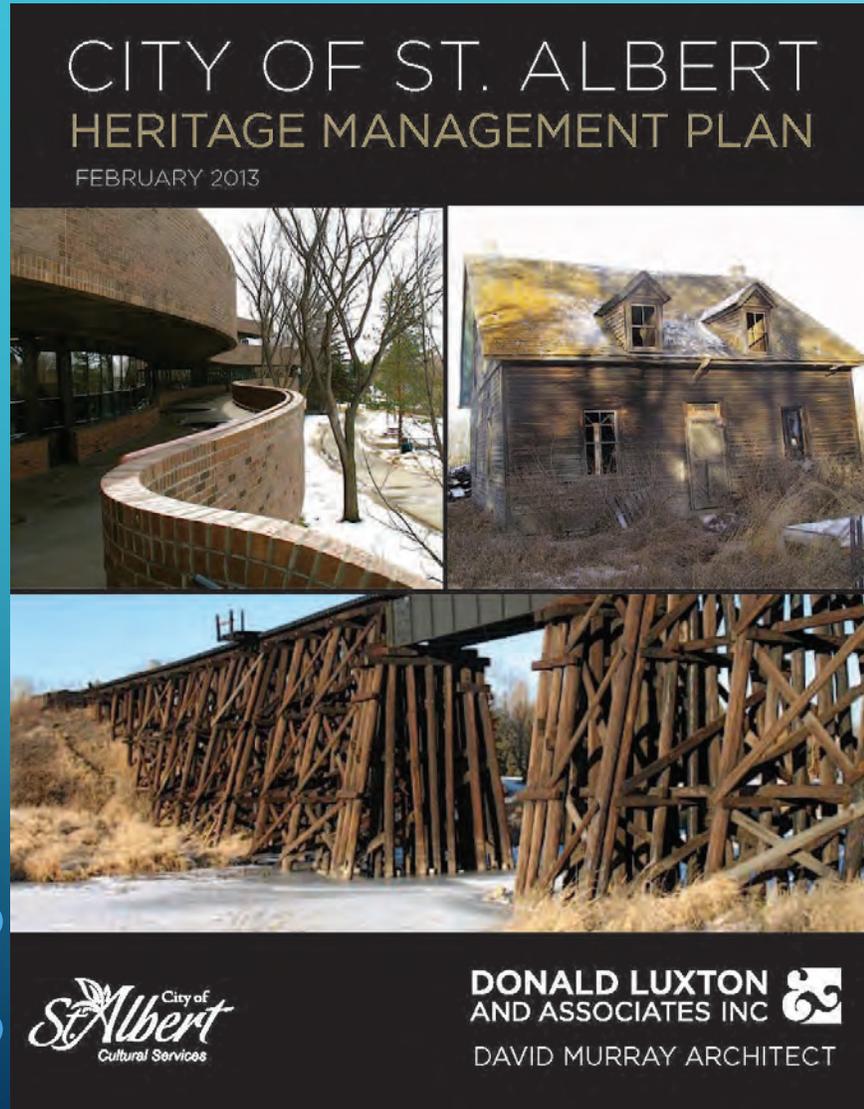
Ian Morgan, Principal, Next Architecture
Architect, AAA, MRAIC

Let's start with the why?

Community Benefits

- increasing community pride and heritage awareness
- encouraging retention of unique physical heritage assets
- celebrating historical events and traditions
- identifying ways that partnership opportunities can be fostered with senior levels of government
- engaging the broader community including the private and volunteer sectors
- conserving a broad range of historical sites that supports other public objectives such as education and promoting a better living environment for residents
- assisting private owners in retaining historic resources
- encouraging investment in historic resources through community partnerships
- supporting sustainability
- environmental and economic development initiatives;
- generating employment opportunities and other economic spin-offs

The St Albert Heritage Management Plan

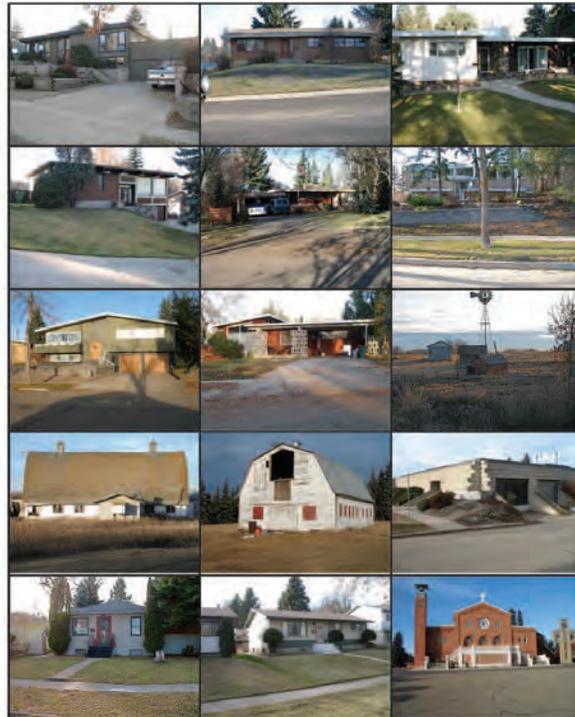


- Enhance St. Albert's unique sense of place, derived from its topography, its legacy of historic resources and its rich community history;
- Identify, evaluate, manage, and commemorate significant historic resources that illustrate the broad range of St. Albert's historical development;
- Provide opportunities for greater engagement of private heritage property owners, by encouraging designation as Municipal Historic Resources and enabling access to provincial funding;
- Continue to integrate the management of historic resources within the municipal policy framework
- Support the preservation and interpretation of the city's rich and complex history and culturally diverse traditions
- Foster economic development through long-term investment in historic resources, cultural facilities and programs such as cultural tourism initiatives; and
- Plan for the development of healthy, vibrant and sustainable neighbourhoods by recognizing historic infrastructure and community identity.

St Albert Inventory

- Create Context Paper exploring the unique history of St Albert
- Undertake Community Consultation
- Work with Historical Organizations and Stakeholders
- Explore historical records, aerial photographs, heritage survey files, building permits, directories

ST. ALBERT HERITAGE INVENTORY



David Murray Architect with HIP Architects

March 2010

ST ALBERT HERITAGE PROPERTIES OF INTEREST DATABASE OF RESOURCES

LOCATION						BUILDING INFORMATION			INVENTORY INFORMATION			
NEIGHB	NCL	STREET	BUILDING NAME	LEGAL DESCRIPTION	DATE ACQ	DATE ALT	ARCHITECT	ORIGINAL INFORMATION	ENR	MHS	PLACE OF INTEREST	HERITAGE INVENTORY
Branside	16	Balmoral Drive	Tilly Residence	Rlan 4897KS Blk 4 Lot 9							yes	✓
Branside	26	Balmoral Drive	Walker Residence	Rlan 4897KS Blk 4 Lot 14	1958						yes	✓
Branside	34	Balmoral Drive	Dunn Residence	Rlan 63 Blk 2 Lot 5	c. 1942						yes	✓
Branside	41	Balmoral Drive	Johnson Residence	Rlan 61 Blk 3 Lot A1	c. 1980						yes	✓
Branside	25	Balmoral Drive	Hornatz Residence	Rlan 61 Blk 2 Lot 48/49	c. 1958						yes	✓
Branside	27	Balmoral Drive	Keating Residence	Rlan 61 Blk 2 Lot 49/50							yes	✓
Branside	3	Blith Drive		Rlan 672077B Blk 1 Lot 16A							yes	✓
Branside	9	Bernard Drive	Beauleve Presbyterian Church	Rlan 15397 Blk 8 Lot A	1968						yes	✓
Sturgeon	5	Bygon Drive	Moulton Residence	Rlan 4897KS Blk 5 Lot 15							yes	✓
Sturgeon	15	Spuce Crescent	Treuer Wing Residence	Rlan 4897KS Blk 5 Lot 40							yes	✓
Sturgeon	21	Spuce Crescent	Maryn's Residence	Rlan 4897KS Blk 6 Lot 8	c. 1942						yes	✓
Sturgeon	23	Spuce Crescent	Ford Residence	Rlan 4897KS Blk 6 Lot 8	c. 1968						yes	✓
Sturgeon	2	Sunny Place	Wood Residence	Rlan 7061KS Blk 12 Lot 8							yes	✓
Sturgeon	14	Sunny Place	Conroy Residence	Rlan 7061KS Blk 12 Lot 16	c. 1961						yes	✓
Sturgeon	11	Garth's Place	Beis Residence	Rlan 7061KS Blk 13 Lot 13							yes	✓
Sturgeon	54	Boona Drive	Franklin Residence	Rlan 5233AC Blk 4 Lot 30							yes	✓
Sturgeon	74	Burnett Boulevard	Willing Residence	Rlan 4897KS Blk 8 Lot 9	c. 1968						yes	✓
Sturgeon	55	Stoney Drive	St. Peter Evangelical Lutheran Church	Rlan 6355NY Blk 18 Lot 77	1971						yes	✓
Strandin	44	Grosvenor Blvd		Rlan 4588AC Blk 1 Lot 20							yes	✓
Strandin	48	Grosvenor Blvd		Rlan 5488KS Blk 4 Lot 8	c. 1981						yes	✓
Strandin	47	Grosvenor Blvd		Rlan 5488KS Blk 4 Lot 8	1984						yes	✓
Strandin	50A	Grosvenor Blvd	Robert Rumble Elementary	Rlan 3060NY Blk 18 Lot 8							yes	✓
Strandin	55	Grosvenor Blvd		Rlan 5488KS Blk 4 Lot 8							yes	✓
Strandin	3	Gaylord Place		Rlan 5488KS Blk 2 Lot 21							yes	✓
Strandin	30	Glenmore Drive		Rlan 5488KS Blk 2 Lot 28							yes	✓
Strandin	39	Glenmore Drive	Albert Lacombe E.S.	Rlan 1758KS Blk 15 Lot 41							yes	✓
Downtown	25	W. Churchill Ave.	6341 Building	Rlan 742039 Blk 7 Lot 4	1974		B. Hemmingsway	RCMP Building			yes	✓
Downtown	32	W. Churchill Ave.	Provincial Building	Plan 5949KS Blk 2 Lot 2, Plan 5949KS Blk 2 Lot 2	1968		Holland Cornwell	Courthouse			yes	✓
Downtown	3	St. Anne Street	Residential Court House	Rlan 772701 Blk A Lot 2	1978		Sally Frost	Courthouse			yes	✓
Downtown	5	St. Anne Street	St. Albert Place		1981		Douglas Cardinal	Municipal Building	✓		yes	✓
Downtown	18A	Perin Street	Post Office	Rlan 6 Blk 5 Lot 31, 32, 33	1947	1967		Federal Building			yes	✓
Downtown	17	Perin Street	Community Hall		1940						yes	✓
Downtown	19	Perin Street	Bank of Montreal		1920	85 & 86			✓		yes	✓
Downtown	2	Clark's Park	Centre Bridge	Rlan 468413 Lot 8, 9, 10 (Junction)	1976			Bridge			yes	✓
Mission	9	Mission Avenue	Sanctus House		1980				✓		yes	✓
Mission	11	Mission Avenue	Immaculate Conception Chapel	Rlan 3358KS Blk 8 Lot 26	1944						yes	✓
Mission	13	Mission Avenue	Periyapalle Centre	Rlan 3358KS Blk 8 Lot 25	1952						yes	✓
Mission	23A/29	Mission Avenue		Rlan 3358KS Blk 9 Lot 40							yes	✓
Mission	41	Mission Avenue		Rlan 3358KS Blk 10 Lot 8	c. 1958						yes	✓
Mission	6	Muir Drive		Rlan 6 Blk 7 Lot 56							yes	✓
Mission	6	Miche Drive		Rlan 6 Blk 7 Lot 56							yes	✓
Mission	2	Milnes Drive		Rlan 6 Blk 7 Lot 56							yes	✓
Mission	1	Milnes Drive	Little White School/White Iron School	Rlan 6 Blk 7 Lot 56	1948			White Iron School	✓		yes	✓
Mission	11	Milnes Drive		Rlan 6 Blk 7 Lot 56	1980						yes	✓
Mission	23	Milnes Drive		Rlan 1417KS Blk 6 Lot 18							yes	✓
Mission	3	St. Vital Avenue	Father Lacombe Chapel		1981				✓		yes	✓
Mission	5	St. Vital Avenue	Vital Garden Centre		1987			residence	✓		yes	✓

DAVID MURRAY ARCHITECT WITH HIP ARCHITECTS

Challenges

- Imperative that heritage policies are built into the MDP – Successive Elected Officials may change policy

- Not everyone values heritage



CITY OF ST. ALBERT
CITY COUNCIL POLICY

NUMBER	TITLE
C-CS-21	Municipal Historic Conservation Program
ORIGINAL APPROVAL DATE	DATE LAST REVISED

Purpose

To establish the City of St. Albert Municipal Historic Conservation Program to preserve and build upon St. Albert's historical integrity by identifying, protecting, preserving and promoting the conservation of heritage resources in the community.

- Current methodologies do not evaluate the sustainability and embodied carbon when assessing life cycle costing. Often the argument 'its cheaper to tear it down'



Net value (impacts + credits)

Manufacturing [A1-A3]

- 33 - Concrete
- 34 - Masonry
- 35 - Metals
- 36 - Wood/Plastics/Composites
- 37 - Thermal and Moisture Protection
- 38 - Openings and Glazing
- 39 - Finishes

Transportation [A4]

- 33 - Concrete
- 34 - Masonry
- 35 - Metals
- 36 - Wood/Plastics/Composites
- 37 - Thermal and Moisture Protection
- 38 - Openings and Glazing
- 39 - Finishes

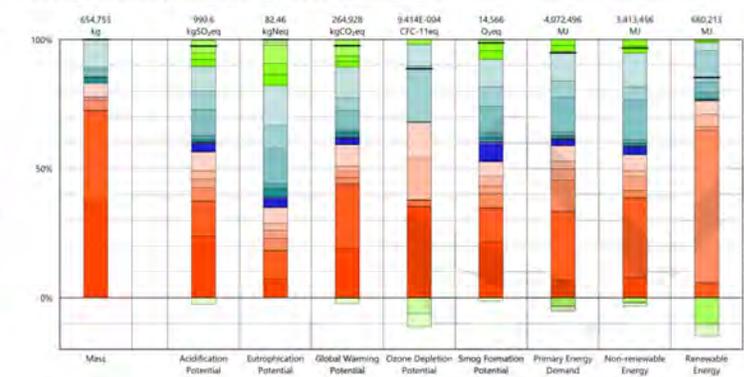
Maintenance and Replacement [B2-]

- 33 - Concrete
- 34 - Masonry
- 35 - Metals
- 36 - Wood/Plastics/Composites
- 37 - Thermal and Moisture Protection
- 38 - Openings and Glazing
- 39 - Finishes

Use of Building [C2-C4, D]

- 33 - Concrete
- 34 - Masonry
- 35 - Metals
- 36 - Wood/Plastics/Composites
- 37 - Thermal and Moisture Protection
- 38 - Openings and Glazing

Results per Life Cycle Stage, itemized by Division



Guidance and Legislation



Province of Alberta

HISTORICAL RESOURCES ACT

Revised Statutes of Alberta 2000
Chapter H-9

Current as of June 2, 2021

Office Consolidation

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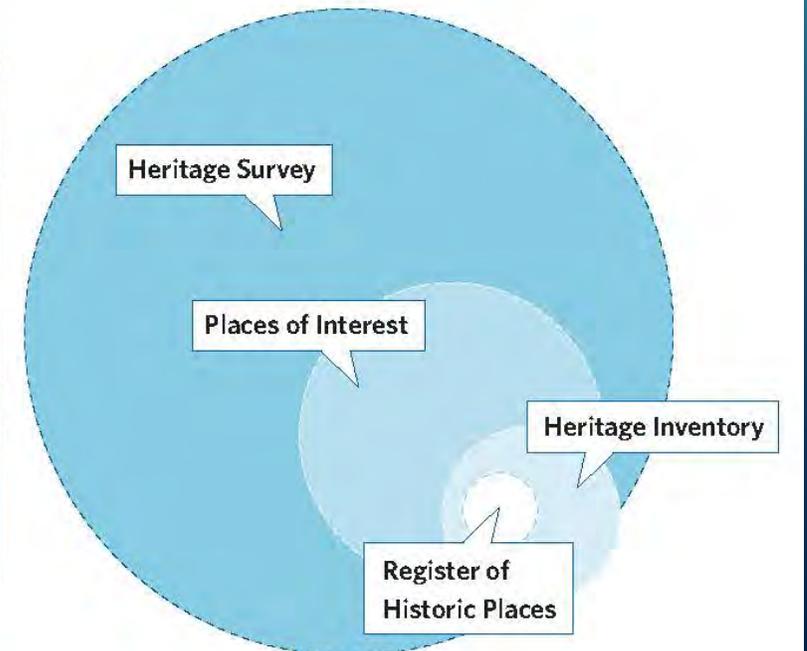
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Identifying Historic Places



Part 1—Conducting a Municipal Heritage Survey

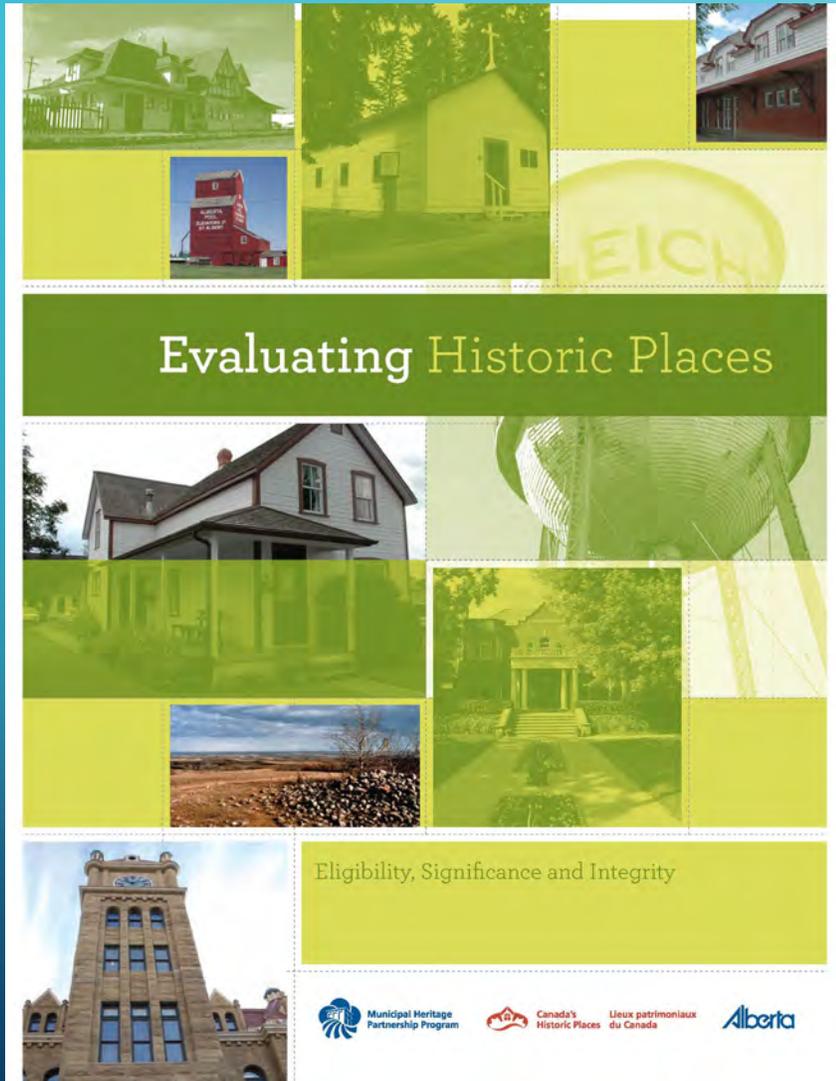




First Steps

- Internal resources
- Historical Societies
- Heritage advisory bodies
- Importance of volunteers

Determine Eligibility



Type 1 exclusions: Ineligible Resource types

- Buildings, structures or objects outside municipal jurisdiction
- Buildings, structures or objects that are situated in an historical park or village
- Small movable objects
- Reconstructions
- Human remains

Type 2 exclusions

- Cemeteries
- Birthplaces or graves
- Resources that are primarily commemorative in nature
- Resources that have been moved
- Resources that have achieved significance in the last 50 years

Significance Criteria

Theme / Activity / Cultural Practice / Event

A resource must be directly associated with a theme, activity, cultural practice or event that has made a significant contribution to the broad pattern of municipal history.

Institution / Person

A resource must be directly associated with a significant institution or with the life of a significant person in the municipality's past.

Design / Style / Construction

A resource must embody the distinctive characteristics of a type, style, period or method of construction, or represent the work of a master, or express high artistic values.

Information Potential

A resource must have yielded, or be likely to yield, information important to the municipality's history, prehistory or natural history.

Landmark / Symbolic Value

A resource must be particularly prominent or conspicuous, and must have acquired special visual, sentimental or symbolic value that transcends its function. A landmark contributes to the distinctive character of the municipality

Integrity

Do the historic resources in your community retain enough of their historic fabric and design features to communicate their significance?
Have they been so drastically altered that they no longer look like they did during their Period of Significance?



Location



Design



Environment



Materials



Workmanship



Feeling



Association



Statement of significance

Description of the Resource

Describe the resource type and its basic physical characteristics

Heritage Value

The aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Character Defining Elements

The materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained to preserve its heritage value



STATEMENT OF SIGNIFICANCE - EXAMPLE

DESCRIPTION OF RESOURCE

St. Albert Place is unique and iconic 3-storey multi-use community building that incorporates a municipal library, a 509 seat proscenium-type performance theatre, artists' workshops, a civic museum and offices for civic administration and governance. It was constructed in 1983 and is located in the heart of downtown on St. Anne Street stretching out along the south bank of the Sturgeon River.



HERITAGE VALUE

St. Albert Place is significant for its association with the themes of Urban Development – Cultural Life and Local Government, uniquely combined into one iconic building. St. Albert, in the late 1970s, is one of the earliest communities in Western Canada to establish a distinct culture department.

St. Albert is known for its arts-supportive community and tradition of artists' guilds that prepared the groundwork for this unique facility. It is associated with a visionary City Council at the time and various activist Individuals as well as the Citizens' Ad Hoc Committee all of whom contributed their insights and services to the steering committee that resulted in this unique building, the selection of Douglas Cardinal as design architect and the fulfillment of a vision that resulted in St. Albert Place.

The style and method of construction of St. Albert Place do not fall into a convenient stylistic category. The sumptuous and curvilinear style is unique to this architect, Douglas Cardinal, who over the course of his career, has developed a national and international reputation as a master architect. The design of St. Albert Place embodies Cardinal's native identity, his association with the environment and the prairie landscape, his academic roots in the fluid designs of French architect Le Corbusier and the organic designs of Frank Lloyd Wright, and his nonconventional personality.

St. Albert Place has become a civic landmark and a source of pride for the community. It is prominently located on the south bank of the Sturgeon River in the heart of downtown and can be seen from some distance. Its unique design and iconic image has become associated with the City itself.



Exterior

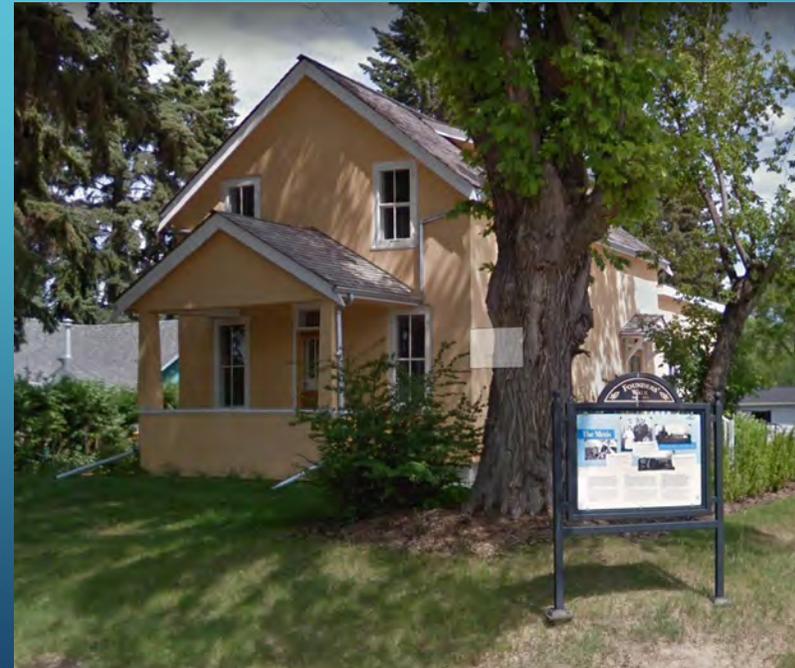
- unique form, scale and curvilinear massing;
- the curvilinear plans for the various floors;
- the curvilinear elevations and wall enclosures;
- the broad, horizontal bands of windows with bronze anodized aluminum mullions;
- the sloping glass wall, waterfall and fountain adjacent to the entrance;
- the tall glass wall enclosing the west corridors;
- the form and expression of the performing arts theatre and fly tower;
- the expansive balconies and curvilinear stair configurations that face the river;
- the unique and expressive treatment of the exit stair enclosures;
- the extensive use of variegated brown brick with grey mortar as the predominant cladding material;
- the rustic and irregular installation of the brick;
- the capping of the parapets throughout with a double layer of brick, with headers exposed;
- the use of suspended brick as the edging for the undersides of exterior parapets where there is a soffit;



Interior

- the unique form, scale and curvilinear massing of the interior components in the public spaces;
- the numerous, tall, multi-floor spaces that join public corridors;
- the unique form, scale, curvilinear massing and design components of the council chamber and public gallery;
- the unique form, scale, curvilinear massing and design components of the performing arts theatre;
- the unique form, scale, curvilinear massing and skylights of the central stair feature in the library;
- the expressed concrete structure throughout in the form of exposed coffers, beams and columns;
- the extensive use of variegated brown brick with grey mortar as the predominant interior cladding material in the public spaces;
- the rustic and irregular installation of the brick;
- the capping of the interior parapets and handrails throughout with a double layer of brick, with headers exposed;
- the use of suspended brick as the edging for the undersides of interior parapets;
- the exposed steel structure and sloping glazing of the window/waterfall feature adjacent to the entrance;
- the panoramic views from the offices and workshops overlooking the Sturgeon River
- the various examples of incorporated public art including stained glass panels in the north entrance and a panoramic painting on level 2 called “A Glimpse Through St. Albert History”.
- the transparency throughout, between public spaces and work spaces.

Examples of St Albert Historic Resources





Canada's
Historic Places

Lieux patrimoniaux
du Canada

STANDARDS AND GUIDELINES

FOR THE CONSERVATION OF
HISTORIC PLACES IN CANADA

A Federal, Provincial and Territorial Collaboration



CONSERVATION OF HISTORIC RESOURCES

The primary purpose of the *Standards and Guidelines for the Conservation of Historic Places in Canada* is to provide sound, practical guidance to achieve good conservation practice. This document establishes a consistent, pan-Canadian set of conservation principles and guidelines that will be useful to anyone with an interest in conserving Canada's historic places

Conservation Decision Making Process

Understanding - an historic place is an essential first step to good conservation practice. This is normally achieved through research and investigation. It is important to know where the heritage value of the historic place lies, along with its condition, evolution over time, and past and current importance to its community.

Refer to Heritage Value and Character-defining Elements

Investigate and Document Condition and Changes



and Land Services

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Consulting Professional Engineers
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arts and heritage
ST ALBERT

City of
St. Albert
Cultivate Life

CITY OF ST. ALBERT

BISHOP'S PALACE

CONDITION ASSESSMENT, FEASIBILITY STUDY AND FUNCTIONAL PROGRAM



Fig. 48. Back-sloping flashing and gap under second floor siding at northeast chapel corner.



Fig. 49. Severe mortar deterioration at northeast corner of chapel.



Fig. 50. Mortar deterioration in foundation wall at base of northeast corner of chapel.



Fig. 51. Mortar deterioration at northwest corner of chapel.



Fig. 52. Sample brick and mortar



Fig. 53. Typ. balcony to exterior wall



Fig. 54. Typ. paint conditions on exterior siding.

In general the exterior walls appear to be in Good condition, with some minor paint deterioration and cupping noted. At the intersection of the wood siding with the flashing above the first floor brick, there were a few areas of localized rot noted, especially at the base of the corner boards.

Where the stair structures abut each facade, some of the wood siding has been cut away to allow for structural connections and may be allowing moisture ingress into the assembly. This is not readily evidenced on the exterior of the wood siding but is worth investigating through exploratory openings in the next phase of the project.

On the interior face of the exterior walls, no concerning areas were noted.

REMEDICATION RECOMMENDATIONS

As the siding was repainting as part of the last campaign in 2017, the paint is still in relatively good shape and will likely not need to be repainted for another 5-10 years.

Similarly, the wood siding was restored in the 1980s and does not appear to require any extensive remediation in the short term. Where localized areas of rot were noted at the flashing intersection, these areas should be repaired using dutchman technique following flashing repair/adjustments. The siding should be inspected regularly (every 5 years) as part of a routine maintenance program.

The only areas of immediate concern are the balcony connections to the exterior walls, which should be investigated further to determine if water infiltration at these locations has caused any internal deterioration. As the east and west stairs/balconies are slated to be removed as part of the proposed functional program, these connection areas will need to be patched in kind and any internal damage remediated. At the south stair/balcony to remain, the connections should be sealed to prevent further water infiltration.



Fig 95. Finishes in first floor dining room.



Fig 96. Typ. finishes in first floor circulation spaces.



Fig 97. Typ. first floor stair and floor finishes.



Fig 98. Typ. second floor stair and floor finishes.



Fig 99. Typ. washroom finishes (sample from second floor shown).



Fig 100. Typ. Grandin display room finishes.



Fig 101. Finishes in chapel, view looking south.



Fig 105. Third floor lounge finishes.

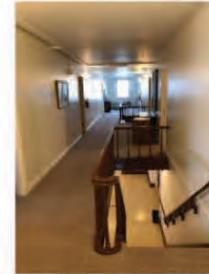


Fig 106. Fourth floor stair and flooring finishes.



or drywall at a couple door corners. There was also a crack noted in the slab of the mechanical room, but does not appear to be an issue.

REMEDICATION RECOMMENDATIONS

As part of the future interior upgrades to the building for the new use, all drywall cracks should be repaired.

Apart from these areas, Next has no other interior concerns at this time. Note that only a visual review was completed and therefore exploratory openings should be implemented to review hidden conditions prior to detailed design work.

As part of the adaptive reuse program, Code upgrades for fire ratings will remove the majority of existing interior finishes. Where possible, every effort will be made to retain those finishes which appear to be original, such as in the chapel, Grandin display areas, lounge, and corridors.

Scope of Work	Outline Budget	Additional Considerations	Comments and Assumptions
Structure and Foundations			
New weeping tile	\$50,000		
Excavation of crawl space, membrane and mud slab	\$100,000		Allowance of \$20 / sqft for excavation, and mud slab
Main Floor Structural Upgrades	\$140,000		Allowance for new intermediate bearing beams and footings
Level 2 Structural Upgrades	\$100,000		Allowance for new floor beams and support columns
Conservation Treatments			
Exterior wall repointing	\$20,000		Masonry generally in good condition
Flashing adjustment	\$5,000		
Painting	\$40,000		Approx 500m2 area
Window conservation	\$100,000	\$50,000	74 windows mostly cat 1/2 repairs, allow additional \$50K for modifications to storm windows
Door conservation	\$7,500		
Roof replacement	\$60,000		Recommended replacement in 5-10 years, allow \$15 / sqft.
Conservation of veranda / balcony on south	\$15,000		Some structural upgrades
Building interior treatments to CDE's	\$20,000		
New Construction			
New main floor addition for collections storage	\$520,000		Approx 2,600sqft at \$200
New level 2 addition for gallery / display	\$780,000		Approx 2,600sqft at \$300
New east escape stair	\$200,000		
New west entry / elevator and escape stair	\$300,000		Allowance for elevator and enclosures to Level 3 and 4
Interior modifications in support of new museum			

Scope of Work	Outline Budget	Additional Considerations	Comments and Assumptions
Mechanical Upgrades			
Heating systems	\$189,700		
Ventilation Systems	\$276,200		The mechanical system costing provided has been based on a system that will provide great temperature control with very good energy savings operating abilities. Lower cost systems certainly can be provided but with less temperature control and lower energy savings.
Air Conditioning	\$32,500		
Exhaust upgrades	\$35,500		
Plumbing	\$133,000		
Fire protection	\$162,500		
Automated building controls	\$60,000		
Electrical Upgrades			
Power distribution	\$189,500		New main panel and breakers included
New lighting	\$147,500		
Fire Alarm	\$29,500		
Security System (inc access control)	\$29,500		
Telecoms / data	\$24,900		
Sub-total of Outline Construction Estimates	\$4,762,800		
Contractors General Conditions at 12%	\$571,536		
Total estimate of Construction Cost	\$5,334,336		
Project contingency @15%	\$800,150		Allowance for hazmat abatement included
Project soft costs			
Consultant fees @10% of Construction Cost	\$533,434		
Insurance / Permits / Licenses / Taxes	\$150,000		
Furniture	\$250,000		



CONDITION ASSESSMENT
St. Gabriel's Church
Chipewyan Prairie First Nation

There is a high degree of likelihood of an imminent failure, and/or the failure mode has increased severity due to the physical condition.	1	M	except for some safety items, are likely to involve significant expense.
2: Poor The asset shows signs of deterioration beyond what regular maintenance can manage. There is a high degree of likelihood of failure. Asset operation may be intermittent and/or have diminished performance.	2	S	S: Safety Issue: Denotes a condition that is unsafe and in need of prompt attention.
3: Fair The asset shows signs of deteriorations due to use, the asset is still functional but there is likely increased risk of failure. Asset operation is still acceptable but may have decreased performance from new.	3	R	R: Repair: Denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.
4: Good The asset is beginning to show some signs of deterioration due to use but is still fully operational, "worn in" condition.	4	I	I: Improve: Denotes improvements which are recommended but not required. This also denotes repairs/replacement that represent logical long term improvements.
5: Excellent The asset is fully operational and shows no signs of deterioration, "new" or "like new" condition.	5	W	W: Watch: Denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.
		D	D: Deferred: Denotes deferred cost items that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next five (5) years.

#	DESCRIPTION	RATING	ACTION	LIFE & BUILDING SAFETY	ASSET STABILIZATION	FUNCTIONAL UPGRADES	TOTALS	COMMENTS
1. EXTERIOR ARCHITECTURAL RECOMMENDATIONS				\$21,000.00	\$95,000.00	\$100,000.00	\$216,000.00	
11	Hazardous Materials Testing of All Exterior Paint	N/A	W	\$1,000.00			\$1,000.00	
12	Localized Repairs to Exterior Walls & Replace Missing Corner Caps.	4	R		\$10,000.00		\$10,000.00	
13	Localized Cleaning & Repainting of Exterior Walls	4	I			\$20,000.00	\$20,000.00	
14	Investigate Condition of Fiber Siding Underneath Metal Cladding	4	W		\$1,000.00		\$1,000.00	
15	Investigate Area of Ceiling Water Damage Inside Church	2	W		\$1,000.00		\$1,000.00	
16	Add Eavestroughs and Downspouts to Building	2	R		\$10,000.00		\$10,000.00	
17	Replace Soffit Boarding Material	2	R		\$15,000.00		\$15,000.00	
18	Insulate Roof System & Re-shingle	2	I			\$80,000.00	\$80,000.00	
19	Repaint Fascia Boards and Misc. Roof Trim	3	R		\$5,000.00		\$5,000.00	
110	Replace Exterior Doors	2	R		\$7,500.00		\$7,500.00	
111	Construct New Stair at Rear Door	N/A	S	\$5,000.00			\$5,000.00	
112	Replace Stair at Front of Building and Add Barrier Free Ramp	2	S	\$15,000.00			\$15,000.00	
113	Re-level Vestibule and Redo Connections to Main Building	2	R		\$2,000.00		\$2,000.00	
114	Restore All Wood Windows, Install New Storms Where Missing	2	R		\$33,000.00		\$33,000.00	3000/Window
115	Replace Glass On Windows in Vestibule with Double Glazing	3	R		\$500.00		\$500.00	
116	Allowance for work to Spire	N/A	W		\$10,000.00		\$10,000.00	
2. INTERIOR ARCHITECTURAL RECOMMENDATIONS				\$1,500.00	\$11,000.00	\$15,500.00	\$28,000.00	
21	Hazardous Materials Testing of All Interior Paint	N/A	W	\$1,000.00			\$1,000.00	
22	Refinish Wood Board Flooring and Plywood Flooring	3	R		\$5,000.00		\$5,000.00	
23	Locally Repair and Repaint Interior Partitions as Required	4	R		\$5,000.00		\$5,000.00	
24	Replace Water Damaged Ceiling Tile	2	R		\$1,000.00		\$1,000.00	
25	Install New Doors to Rear Rooms	N/A	I			\$5,000.00	\$5,000.00	
26	Demolish Left Side Casework in Rear Rooms	N/A	I			\$500.00	\$500.00	



Planning - is the mechanism that links a comprehensive understanding of an historic place with interventions that respect its heritage value. Planning should consider all factors affecting the future of an historic place, including the needs of the owners and users, community interests, the potential for environmental impacts, available resources and external constraints.

Maintain or Select an Appropriate and Sustainable Use

Identify Project Requirements

Determine the Primary Treatment

Review the Standards

Follow the Guidelines

The Standards and Guidelines apply particularly to these three steps of the conservation decision-making process: Determine the Primary Treatment, Review the Standards and Follow the Guidelines.

DETERMINE THE PRIMARY TREATMENT	PRESERVATION	REHABILITATION	RESTORATION
REVIEW THE STANDARDS	GENERAL STANDARDS 1 – 9		
		Additional Standards for Rehabilitation (10–11–12)	Additional Standards for Restoration (13–14)
FOLLOW THE GUIDELINES	GENERAL GUIDELINES		
		Additional Guidelines for Rehabilitation	Additional Guidelines for Restoration



Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an *historic place*, or of an individual component, while protecting its *heritage value*.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of an *historic place*, or an individual component, while protecting its *heritage value*.

Restoration: the action or process of accurately revealing, recovering or representing the state of an *historic place*, or of an individual component, as it appeared at a particular period in its history, while protecting its *heritage value*.





THE STANDARDS

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.



6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.



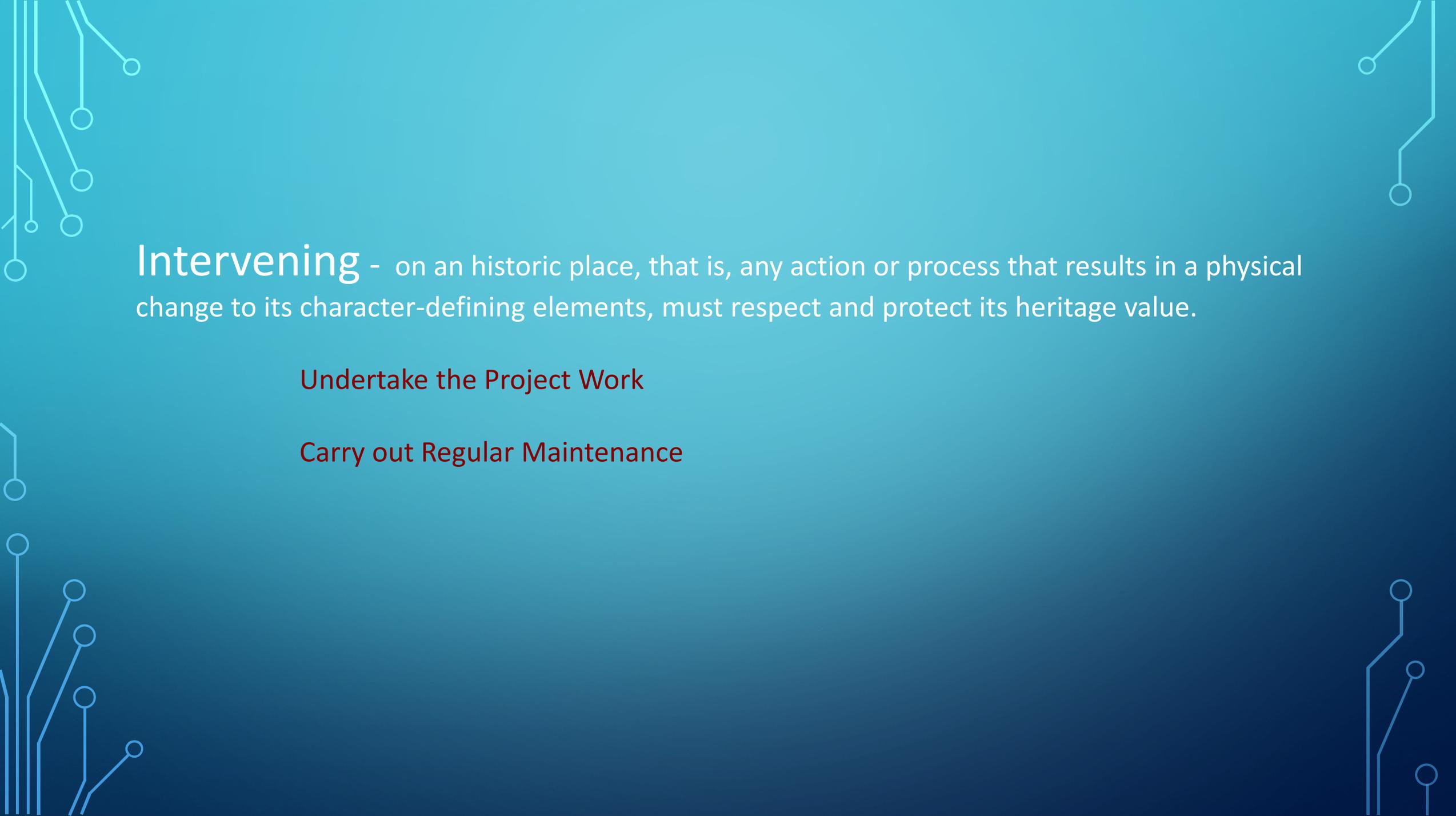
Additional Standards for Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.



Additional Standards for Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

The background is a dark teal gradient. In the corners, there are decorative white line-art patterns resembling circuit boards or neural networks, with lines connecting to small circles.

Intervening - on an historic place, that is, any action or process that results in a physical change to its character-defining elements, must respect and protect its heritage value.

Undertake the Project Work

Carry out Regular Maintenance

The Guidelines

4.3.4 EXTERIOR WALLS



Because they are largely below the surface, foundations are often dismissed as not contributing to a building's heritage character. However, it is important to remember that heritage value is not only found in what can be seen. Construction methods, materials and techniques can all be character defining, as is the case for the Grange Alexander Salomon Wallbridge in Quebec.

Log, stone and concrete foundations are visually and functionally very different. The decision to repair, replace in kind or rehabilitate a foundation should be determined by both the condition of the foundation and its compatibility with the heritage values of the place.

These guidelines provide direction when exterior walls and their elements are identified as character-defining elements of an historic place. Exterior walls include foundation walls, structural masonry or log walls, and wood, concrete or steel framing with an exterior cladding, such as frame-based cladding systems. The guidelines also provide direction on how to minimize the negative impact of additions or alterations on exterior walls.

Exterior walls perform many functions, including those of structure, weatherproofing, thermal protection, daylight control and ventilation. Traditional load-bearing walls, such as log or masonry walls, perform all of these functions in a single composition. Later, the development of frame-based structural systems led to the separation of these functions. In modern building, components such as cladding, air barriers and insulation, are combined to create a complex exterior wall assembly. If these components act both independently and as a whole, consequently, there may be specific conservation issues associated with the materials connected to the core or cavity of the assembly.



A modern building envelope includes multiple materials, such as a concrete structure, metal curtain wall mullions and glass panels. Each of these materials ages differently and reacts in its own way to stresses, heat and cold. For a face-sealed curtain wall like this one, it is important to select sealants that mate the assembly watertight and that are compatible with all the materials with which they come into contact. Sealant materials generally have a shorter service life than adjacent materials and will eventually fail due to exposure to weather, stress and age. Regularly replacing appropriate sealants is an important part of building maintenance.

When frame-based cladding and curtain walls were developed, air and vapor barriers were introduced, as well as mechanical heating, ventilating and air conditioning (HVAC) systems that changed the thermal and moisture conditions in the walls. Changes to existing HVAC systems, or introducing mechanical systems in buildings where the walls were designed without insulation or air barriers, often led to the deterioration of exterior wall assemblies. It is, therefore, important to understand how the exterior wall relates to the building systems.

Curtain wall systems present a range of new preservation challenges, because they were the result of an era of experimentation in structure and materials, and provide higher standards for energy efficiency. Their conservation should be examined on a case-by-case basis, taking into account the heritage value of the design and the actual conditions and causes of deterioration, while planning for extended or improved performance.

These guidelines provide general recommendations appropriate to all types of exterior walls. For recommendations on associated issues related to walls, refer to the individual guidelines for Exterior Form, Windows, Doors and Storefronts, and Structural Systems. For specific materials that make up exterior walls, refer to the Guidelines for Materials.



New signs (top right) should be respectful with the building in terms of size, scale, texture, style and colour. They should also not obscure, damage or detract character-defining elements. In some cases, as Mills Fab Room in Sudville, NH (left), signs added later become character-defining elements in their own right. Character defining signage should also be maintained despite a change in use, such as the painted sign for the farm store and the factory in Hudsons Bottom (right), which has been converted into apartments.



According to the design of excavation and the loss of the finished foundation, Miller's Sawhouse in Montreal was built in 1837 for stalker in distress. Constructed from local stone, it was filled with enough provisions to maintain its place for several months. Concerning building services or above-ground archaeological resources pose unique challenges. In this case, the walls and foundation were protected and an insulated floor was installed, leaving remaining soil layers and associated efforts to be left in place while being protected from theft and further exposure to the elements.



The impact of adding insulation to an exterior wall assembly that was not historically insulated should be carefully considered, including by measurement of the current performance of the wall and through modeling the performance of different approaches. Adding insulation to the exterior or interior of solid masonry or log walls may impact on heritage character and lead to deterioration of the wall, if not based on a thorough understanding of the wall's physical characteristics and context, including its exposure to air, water and vapor moisture. Any changes to an exterior wall should be based on the building envelope science for the type of historic assembly.

GENERAL GUIDELINES FOR PRESERVATION, REHABILITATION AND RESTORATION

	Recommended	Not Recommended
1	Understanding the exterior walls and how they contribute to the heritage value of the historic building.	
2	Understanding the properties and characteristics of the exterior walls as well as changes and previous maintenance practices.	Failing to consider the impact of previous changes to the exterior wall assembly, such as the addition of insulation and vapor barriers, or new heating or cooling systems.
3	Documenting the construction, form, materials, design, dimensions and condition of exterior wall assemblies before undertaking an intervention. This includes quantity, scale, proportions, opening, form and supporting frames or structures.	Undertaking an intervention that affects exterior wall assemblies without first documenting their existing character and condition.
4	Assessing the condition of wall assemblies and their materials early in the planning process so that the scope of work is based on current conditions.	
5	Determining the cause of distress, damage or deterioration of exterior walls through investigation, monitoring and, where necessary, in-situ or non-destructive testing techniques.	
6	Protecting and maintaining exterior walls by cleaning and repairing damaged materials, and checking exterior wall assemblies for moisture penetration and insect infestation, taking corrective action, as necessary and as soon as possible.	Failing to maintain exterior walls on a cyclical basis. Failing to correct causes of deterioration of the exterior wall assembly, such as failed sealants.
7	Retaining sound or deteriorated exterior wall assemblies that can be repaired.	
8	Stabilizing deteriorated exterior walls by using structural reinforcement, weather protection, or correcting unstable conditions, as required, until repair work is undertaken.	Removing deteriorated exterior wall elements that could be stabilized or repaired.
9	Repairing parts of exterior walls by patching, patching, consolidating, or otherwise reinforcing, using recognized conservation methods. Repair may also include the limited replacement in kind, or with a compatible substitute material, of extensively deteriorated or missing parts of the exterior wall assembly. Repairs should match the existing work as closely as possible, both physically and visually.	
10	Protecting adjacent character-defining elements from accidental damage or exposure to damaging materials during maintenance or repair work.	

Adaptive Re-use and the National Building Code – Alberta Edition

- Fire separations
- Exit provisions
- Barrier free / accessibility
- Important to keep any Code review documentation on file

Inherent Vice

- Defective details or inappropriate material choices should not be duplicated when improvements are possible without significantly affecting the place's value.

Building Systems

- Improving a building's performance with new mechanical and electrical systems

Health, Safety and Security

Case Study – Conservation of the St Albert Grain Elevators





The priorities for this project are summarized as

- Thorough inspection of concealed foundations and support structures
- Stabilization of foundation under the office to prevent further deformation of structure
- Construction of grade beam and concrete walls to grain storage bins to minimise water penetration
- Inspection of stud framing, sheathing and cribbing with repair and replacement as necessary to prevent further deterioration and complete re-siding and painting of building
- Rehabilitation, restoration and recreation of all windows
- Replacement of cedar shingle roofs and rehabilitation of metal fascias and flashings including installation of eaves trough and downspouts
- Installing gravel fire break
- Reconstructing sidewalk
- Reconstructing loading platform with appropriate handrails and structural bracing.

The priorities for this project are summarized as

- Thorough inspection of concealed foundations and support structures
- Stabilization of foundations to prevent further deformation of structure including underpinning of foundation under grain storage bins
- Repair of grade beams and foundations to office and drive aisle
- Repair of roof beam, beam over drive shed door and new support to post of drive shed
- Inspection of stud framing, sheathing and cribbing with repair and replacement as necessary and reattachment of metal siding
- Rehabilitation, restoration and re-creation of all windows
- Replacement of shingle roofs and rehabilitation of metal roofs including fascias and new eaves trough / downspouts
- Reconstructing access stair and sidewalk. Stair to be installed to meet Code.
- Reconstructing loading platform with appropriate handrails and structural bracing.
- Repainting the elevator

ELEVATOR 1 – EXTERIOR WALLS

Remove siding from elevator

Repair of sheathing to upper areas of elevator - assume 20% replacement for budget purposes

Install new 15lb perforated felt and siding to elevator, reinstate / replace metal corners, flashing and slip joint between elevator and drive shed

Cribbing replacement - assume 20% replacement of exterior for budget purposes

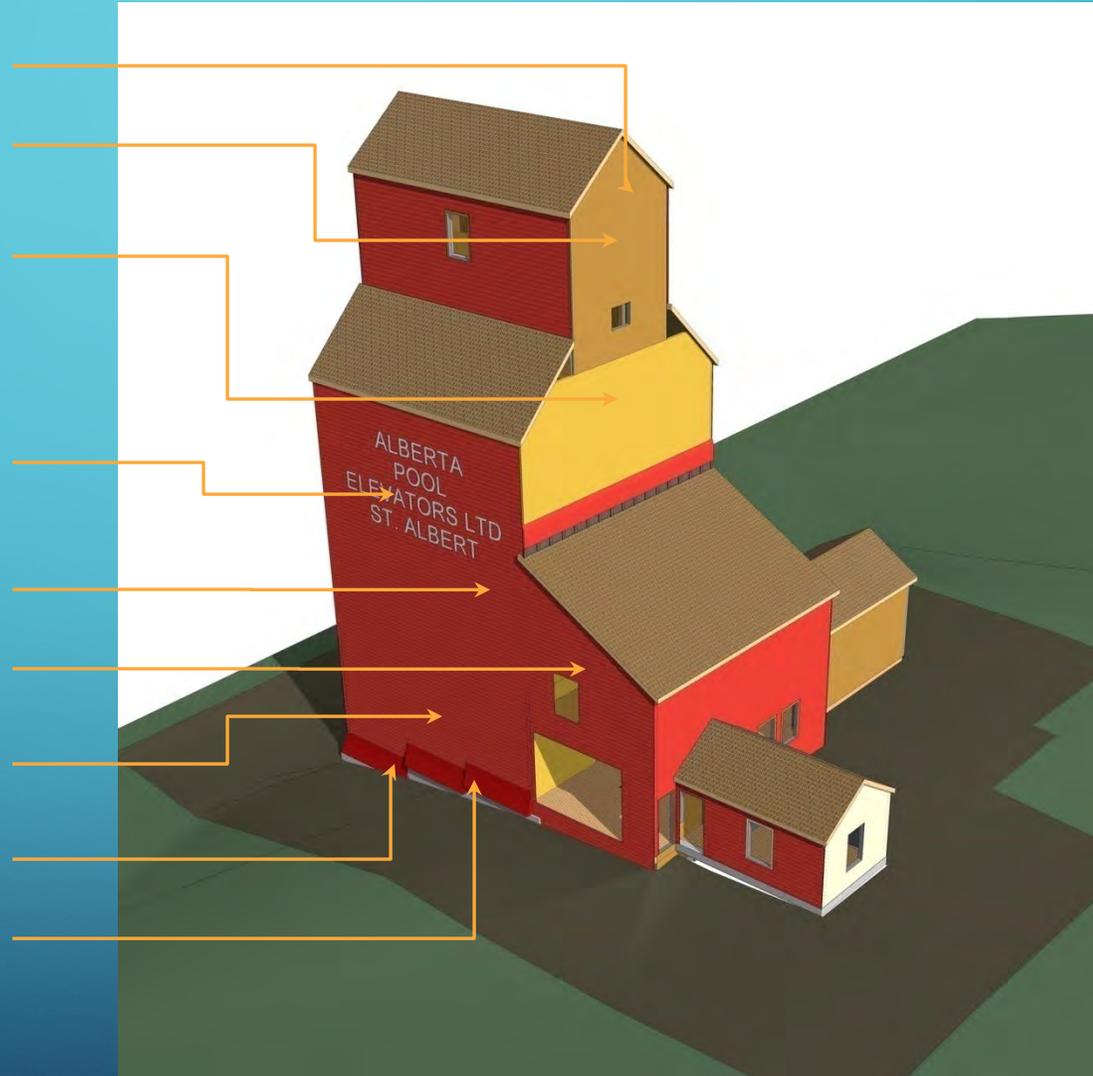
Repaint elevator and signage

Repair of sheathing to drive shed - assume 20% replacement for budget purposes.

Intumescent coatings to exterior

Sill plate and beam repair and replacement

Repair and replacement of skirt and installation of wire mesh



ELEVATOR 1 – INTERIORS

Clean upper areas of elevator to remove dust and pigeon droppings

Clean cribbing, sheathing and wall studs at second floor, prep and apply intumescent coating

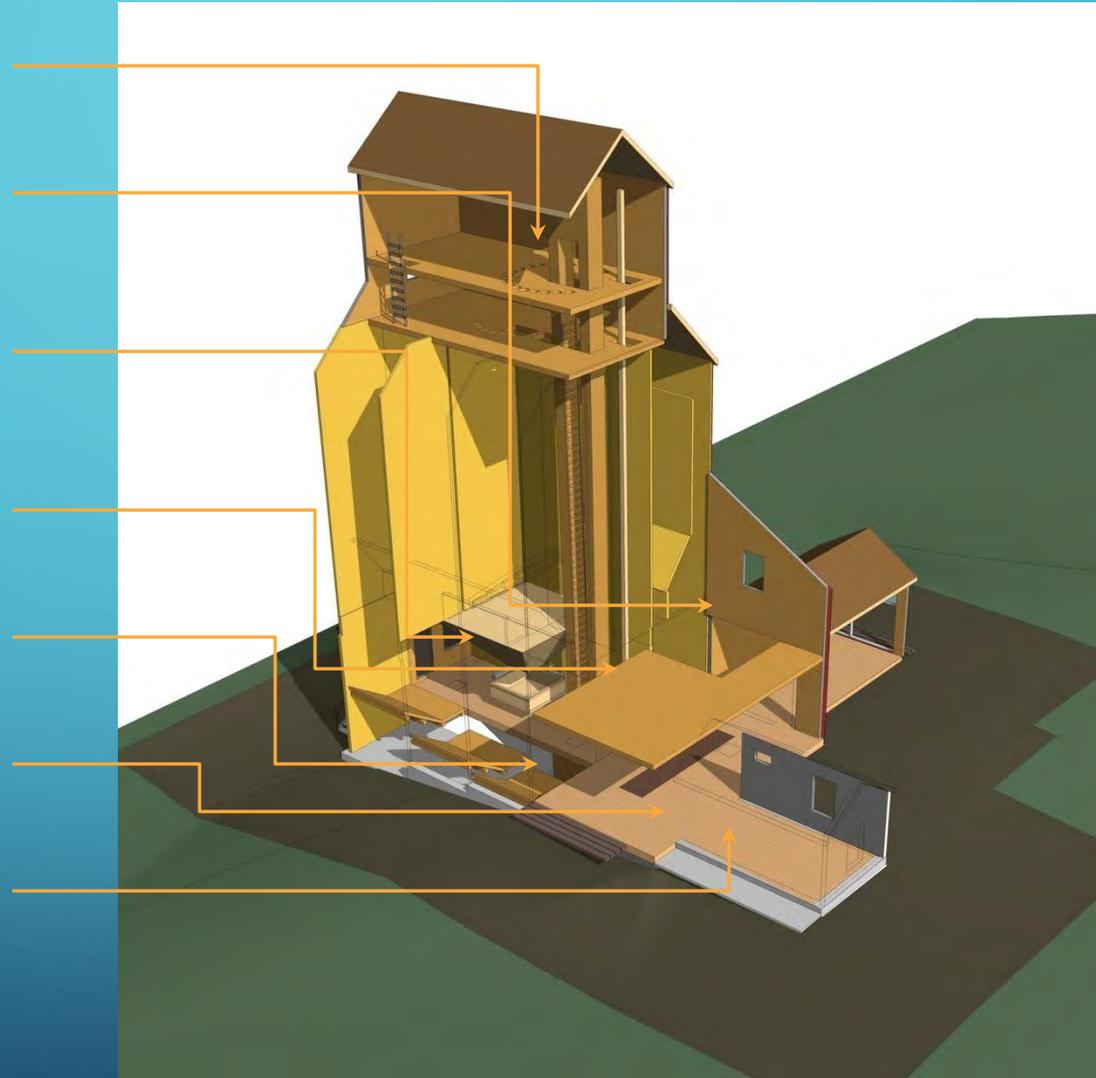
Clean cribbing, sheathing and wall studs in area of hopper scale and grain storage bins, prep and apply intumescent coating

Allowance for upgrades to access to second floor

Clean cribbing, sheathing and wall studs in drive shed, prep and apply intumescent coating

Allowance to re-create grain agent working area, storage cupboards tack boards

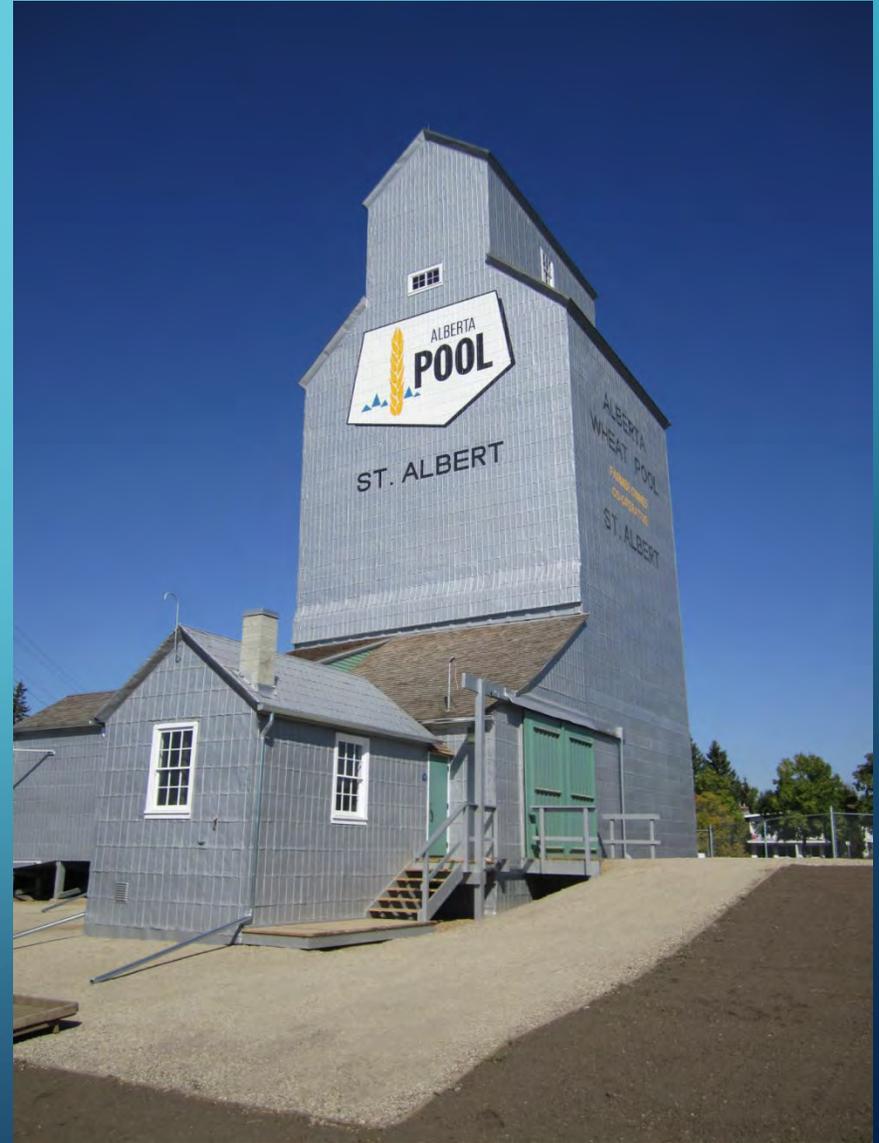
Allowance for reinstatement of wall and ceiling panels to office, repair / replacement of floor and attachment of wall cupboards















Helping Hands

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Services and information

Alberta Geographical Names Program Information on how to propose new names or changing existing names.	Alberta Register of Historic Places A listing of all historic places designated under the province's Historical Resources Act.	Archaeology Archeological survey, permits, sites, resources and report a find.
Bonjour Alberta Access services and resources in French, and learn about Alberta's French Policy and francophone heritage.	Conservation and protection Heritage programs and activities, heritage survey and markers, and listings and designation of provincial resources.	Grants and funding Alberta Foundation for the Arts, and Alberta Culture Days, Heritage Awareness, Historic Resource Conservation and other grants.
Historic sites, museums and archives Explore Alberta history with us. Choose an experience at a provincial heritage facility, and find information to plan your visit.	Indigenous cultures Indigenous heritage program, Frog Lake historic site, Okotoks Erratic, National Aboriginal Day and repatriation of sacred objects.	

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Heritage programs and activities, heritage survey and markers, and listings and designation of provincial resources.

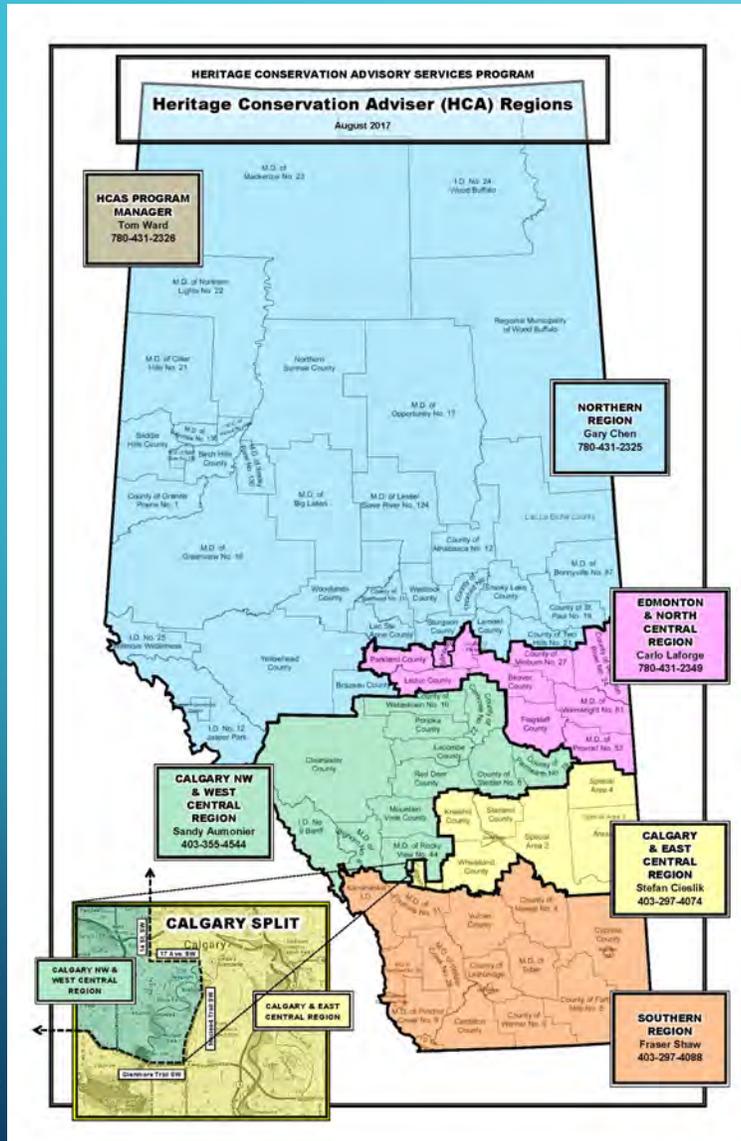
Services and information

Alberta heritage markers Learn about Alberta's heritage markers, including how to apply for a new one.	Alberta's Heritage Survey Access and contribute to Alberta's Heritage Survey database of over 100,000 historic places.	Designation of provincial historic resources Search for provincially protected historic places and apply to designate a Provincial Historic Resource.
Heritage Awards Nominate an individual, organization, corporation, school, municipality, First Nation or Métis Settlement for their efforts to protect, preserve and promote Alberta's heritage.	Heritage conservation advisers Owners of designated historic resources can get help with conservation and rehabilitation of their properties.	Heritage programs and activities Know more about the support for heritage in Alberta through programs and funding.
Historic Resource Impact Assessment An assessment may be required before a development activity begins if the project may impact Alberta's historic resources.	Historical Resources Act approval for a development project Developers, land owners and land use planners may need to get approval under the Historical Resources Act (HRA) before beginning a project.	Listing of historic resources Find lands in Alberta that contain, or are likely to contain, historic resources.
Municipal heritage Information for municipalities on how to identify and protect historic resources.	Transfer objects from collections Public non-profit museums can apply to transfer items to their facility.	

Heritage Conservation Advisors

A heritage conservation adviser ensures the historical integrity of your building is not compromised. They also provide necessary expertise and approval on your conservation project.

The Historical Resources Act requires owners of provincially designated historic resources to notify the Minister of Culture and Status of Women of any proposed changes to the property.





FUNDING SUPPORT

The Heritage Preservation Partnership Program provides matching grants and scholarship funds to support initiatives that preserve and interpret Alberta's heritage.

Historic Resource Conservation Grants provide matching grants to individuals and organizations for the following:

- Conservation work on Alberta's Provincial Historic Resources, Municipal Historic Resources and Indigenous Historic Places
- Studies and professional services associated with the conservation of Provincial Historic Resources, Municipal Historic Resources and Indigenous Historic Places. Other undesignated historic resources may also be eligible. Please contact the Heritage Conservation Adviser for your region or the Program Coordinator.



Grants for Conservation Work

- Provincial Historic Resources \$100,000 per historic place
- Municipal Historic Resources \$50,000 per historic place
- Indigenous historic places \$50,000 per historic place

Studies and professional services grants

A matching of grant of \$25,000 is also available for studies, reports, plans and professional services for architects, engineers and other professional consultants associated with the conservation of a historic place

The following applicants may apply for the grant:

- individuals that reside in Alberta or have a permanent Alberta address
- registered organizations in Alberta:
 - non-profit organizations
 - Corporations
 - Municipalities
 - Churches
 - schools and other educational institutions
 - First Nations
 - Metis Settlements



QUESTIONS?